

Architectural Review Rules

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High Cliffs at Round Mountain, Black Mountain, NC 28711



www.HighCliffs.org

MAILING ADDRESS:

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*Remember that these guidelines are updated periodically.
Contact ARB to ensure you have the latest updated version - ARB@HighCliffs.org*

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INTRODUCTION

High Cliffs at Round Mountain is a private gated community situated just 7 miles south of the town of Black Mountain, North Carolina. The community sits atop beautiful Round Mountain that reaches an elevation of 3400 feet, affording some of the most pristine views in western North Carolina. Northern facing lots command impressive views of the Blue Ridge Mountains, including the Craggy and Black ranges as well as specific peaks of Greybeard and Mount Mitchell, while Southern facing lots draw in sweeping long-range views. Situated in Eastern Buncombe County, High Cliffs is convenient to I-40, Asheville, Black Mountain, Hendersonville, and Lake Lure.

High Cliffs is a low-density development consisting of only 35 home sites on 10-acre-plus parcels. By design, the community's focus is on the natural beauty of the surrounding landscape. Property owners' dues are used to maintain common roads and associated landscaping, not spent on rarely utilized golf courses, community clubs or gyms. There is a maintained hiking trail that encircles the community for homeowners to enjoy.

The High Cliffs Architectural Review Board (ARB) has the responsibility for maintaining the aesthetic beauty and structural integrity of High Cliffs as a functionally convenient and environmentally sound community. The ARB will uphold the covenants and restrictions set forth in the Declarations & Restrictions as it reviews applications for new builds, modifications or additions to structures or landscaping in the High Cliffs community. The ARB's guiding philosophy shall be to balance the interests of the individual property owner with that of the community, but with an ultimate responsibility of fulfilling a fiduciary duty to do what is best for the community towards preservation of property value.

The ARB is comprised of three members (chairperson and two additional members). Meetings are held on an as-needed basis per the chairperson or if at least three members request a called meeting. The ARB will serve as an advisory committee to the BOD which will review and approve all requests. The BOD may adopt, amend, or repeal the rules described herein.



PHILOSOPHY

These Architectural Rules have been created to help owners achieve the best possible home for themselves as well as for the land and the High Cliffs community. Emphasis is placed on the design, quality of the work, construction materials and landscaping to preserve the natural beauty of the landscape and enhance the aesthetic appeal of the High Cliffs community. Continuity of design staying consistent with a mountain vernacular, use of natural materials and colorations, and implementation of natural and native landscaping to preserve and blend in with the natural beauty found within the High Cliffs property are the guiding principles of the ARB in its review process.

It is HIGHLY encouraged that homes in High Cliffs be constructed in an environmentally friendly fashion with the least impact on the land. Examples of such green building practices can be found later in this document. The philosophy should be taken of "nestling your home into the environment", minimizing disturbance to the natural attributes of the lot, and preserving the desirable examples of native trees and shrubs. Professional pruning of vegetation can often serve to create "view windows" without the need for complete removal.

DESIGN REVIEW AND CONSTRUCTION PROCESS

The property owner's cooperation and adherence to these rules is appreciated. It is imperative that each property owner plan in advance to allow for the ARB to evaluate each application based on a timeline.

All construction projects in High Cliffs are submitted to the Architectural Review Board (ARB) for review and approval. This includes improvements to existing homes including fences, porches, accessory buildings, and landscaping. The ARB must approve any plans referenced here within 45 days after receipt of each application and particular plan.

The goal of the ARB is to work quickly, as to not slow any of the building process and to ensure the property owner can easily integrate the Architectural Rules into their designs. Each request will be considered on its individual merits. Previous approval of a similar request does not guarantee future approvals on current or additional properties. The Design Review and Approval Process consists of four primary steps.

CHECKLIST & APPROVAL PHASES FOR BUILDING ON LOT			
1.	CONCEPT PHASE (Before you do anything on the property)	Application Form – New building Application	<input type="checkbox"/>
		Application Fee - \$500	<input type="checkbox"/>
		Survey and Topography of Lot (just area of where you would like house placement and property lines)	<input type="checkbox"/>
		House Design concept and estimated size	<input type="checkbox"/>
		Drawing of proposed House location, well location, septic location, and driveway location. (Should be on a survey with measurements)	<input type="checkbox"/>
		Buncombe County Well and Septic	<input type="checkbox"/>
2.	PRELIMINARY PHASE (Site clean up to remove brush but before tree or any bush cutting Well installation allowed upon approval)	Preliminary Design Application	<input type="checkbox"/>
		Full Site Plan	<input type="checkbox"/>
		Foundation / Structural Plan	<input type="checkbox"/>
		House Design, Floor plan & Elevation drawings	<input type="checkbox"/>
		Building Plan	<input type="checkbox"/>
		Grading and Drainage Plan	<input type="checkbox"/>
		Tree & Topographic Survey w/ Tree preservation plan	<input type="checkbox"/>
		Exterior Colors and Materials	<input type="checkbox"/>
		Landscape and Night Sky Outdoor lighting Plan	<input type="checkbox"/>
3.	CONSTRUCTION PHASE (Construction can begin after approval)	Final Design Application	<input type="checkbox"/>
		Construction Impact Fee (Non-Refundable) - \$2,500	<input type="checkbox"/>
		Contractor Fee (Refundable*) - \$5,000	<input type="checkbox"/>
		Stormwater Management Plan	<input type="checkbox"/>
		Contractor bonding & insurance	<input type="checkbox"/>
		Any changes from Preliminary Phase	<input type="checkbox"/>
			<input type="checkbox"/>
4.	FINAL INSPECTION PHASE	Periodic inspections	<input type="checkbox"/>
		Final inspections sign off / CO signoff	<input type="checkbox"/>
		Contractor damage inspection and refund release	<input type="checkbox"/>

CREATING A TEAM

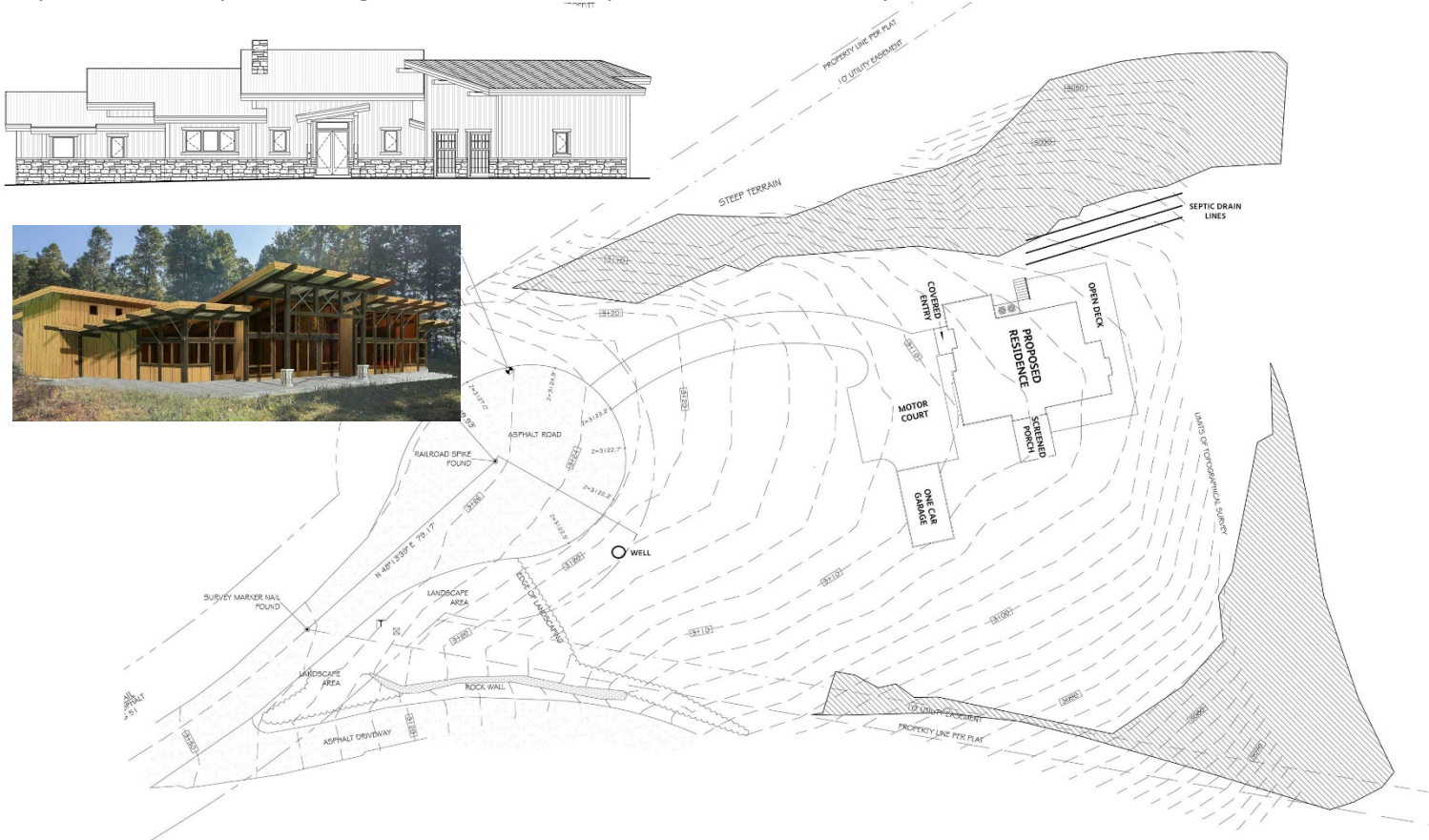
A critical first step in the design process is the assembly of a creative and effective design team. Generally, the design team will consist of at least a licensed architect, a licensed landscape architect, and a builder. These team members will contribute throughout the design process and will assist with the review process as described below. Because all homes in High Cliffs are designed for the unique site on which they are built, coordination between these different perspectives is crucial to the overall success of the project.

DESIGN REVIEW STEPS

All construction projects in High Cliffs are submitted to the Architectural Review Board (ARB) for review and approval. This includes improvements to existing homes, including fences, porches, accessory buildings, and landscaping. The ARB will review and either approve or provide commented changes for any submitted plans within 45 days after receipt of each application and particular plan. The Design Review Process consists of four primary steps.

STEP 1 – CONCEPT REVIEW

The Concept Review is established to ensure that an initial design concept is on track with the intent and requirements of these Guidelines. For architectural review at this stage, the ARB will assess home footprint and orientation, driveway location and approach, and its impact on neighboring homesites. A site plan showing actual lot boundaries, proposed septic and well location is required. Specific home details are not required, but representative inspiration images are ideal to convey a sense of the home style and size.



Sample

STEP 2 – APPLICATION, PRELIM DESIGN SUBMISSION AND BUILDER APPROVAL

At preliminary design submission, all major elements of the home and site plan should be incorporated into the overall draft design. This includes the house and any accessory structures such as outbuildings and garages, driveway, stormwater management, well and septic location, etc. All elements and components should be shown to scale on a topographic plan of the site that also identifies the location of trees over 9" in diameter. At the ARB's discretion, this stage of planning may also include an on-site meeting with the owner, the design team, and the ARB.

All builders must obtain approval from the ARB. If a builder has already been approved for prior projects in the community, no further application is required. This is a formal application process with the following elements:

- Signed affidavit of understanding from the builder to assure compliance with High Cliffs covenants, construction rules, design guidelines and all municipal, state and federal laws during the construction process.
- Signed affidavit of qualifications demonstrating appropriate licensure and proof of general liability insurance.
- Payment of a refundable contractor deposit to be held until the construction project has concluded and a final inspection of the site by the ARB assures no building violations or damage have occurred.
- Submission of portfolio highlighting relevant prior work for review, preferably demonstrating projects in communities with similar design guidelines.

STEP 3 – FINAL DESIGN AND CONSTRUCTION PHASE

Once designs are completed, incorporating the guidance and recommendations of the ARB from the preliminary design review, they may be submitted for final review. If an onsite meeting is requested by the ARB, you will also be asked to bring material and color samples, along with copies of the site plans, house plans, landscaping plan, outdoor night sky lighting plan, and elevations.

This is when all contractor information and insurance must be submitted in addition to fees. Contractor must be aware of all contractor guidelines before construction begins. Upon approval of the final design submission, the builder may obtain a building permit and commence construction.

STEP 4 – FINAL INSPECTION PHASE

The ARB may inspect periodically during construction to ensure all guidelines and restrictions are being adhered to.

Upon completion, the owner or builder shall notify the ARB in writing and request a final inspection. All exterior construction, landscaping, outdoor lighting, and final site work, including cleaning the lot of all construction material and debris must be completed prior to the ARB final inspection.

A Certification of Compliance will not be issued until all outstanding fines have been paid.

CONSTRUCTION GUIDELINES

The lot owner is ultimately responsible for compliance with these Rules and the Restrictive Covenants of High Cliffs. The owner is accountable for the actions of all contactors, subcontractors, and the builder. All construction-related personnel are allowed ingress and egress to High Cliffs for job-site related purposes only; all else will be considered trespassing. Lot owners are liable for damage to any underground utilities and will be held responsible for timely repair of such in the event of interruptions to the community and adjacent lot owners. Calling 811 for locating and marking of underground utilities prior to any construction project or landscaping is mandatory.

ROAD MAINTENANCE

- Construction vehicles should be parked either on the lot under construction, or in single file along the shoulder of the road.
- Large vehicles or trailers shall not obstruct common road access. Contractors are encouraged to keep the number of non-construction personal vehicles to a reasonable number at the site, utilizing off-site carpooling when the number of vehicles at a site becomes burdensome.
- If mud is tracked onto the paved road, it shall be cleaned at the end of each working day. Mud mats at the construction site entrance are mandatory.
- Tandem trucks are not to exceed 16 tons of material hauled. Track hoes should not exceed 48,000 lbs. and should be transported on short trailers. All equipment should be hauled on appropriate-sized trailers to distribute load on the roadways.
- If any vehicle leaks automotive fluid of any kind onto the paved road, it shall be removed immediately. If such occurrence results in a permanent stain, the owner or contractor shall be subject to fines.
- Builders, subcontractors and their representatives should take all precautions to prevent accidents. In the event that loading or unloading materials and equipment must take place on curves, intersections, steep roads or blind driveways, flagmen and warning flags and/or cones must be used.

RULES, TRASH, CONSTRUCTION DEBRIS & NOISE

- The construction site should be cleaned daily to be as aesthetically pleasing as possible to the community during the construction phase. This should include securing any loose material that may be blown away in high winds.
- A dumpster shall be placed on the site for all debris and trash and emptied in a timely fashion when full. No debris shall be dumped at another location on the property or in the High Cliffs community for disposal purposes.
- No food, food waste or food wrappings may be placed in the debris bin or left in an unsecured manner at any time. Any such material left on the job site outside of working hours is subject to a fine without warning.
- Dumping or washing of any concrete is not allowed anywhere within High Cliffs Community, with the exception of the project lot, and all dumped concrete must be removed prior to end of the project.
- Excessive noise is prohibited. This includes music and unnecessary shouting.
- Construction materials should be kept out of the street at all times.
- A single sign identifying the builder, architect and/or owner may be installed upon approval by the ARB. No sign shall be installed prior to final ARB approval to commence construction. The sign must face the street, be installed no closer than 10 feet from the curb and shall remain properly maintained by the Builder throughout the construction process. No subcontractor signs are allowed. No other signs may be placed anywhere at High Cliffs.
- Portable toilets, which are placed temporarily on a house site during construction, shall be located as far back on the lot as possible yet still maintain service access. The toilet door shall face away from the street. The unit shall not be placed on the roadway. Toilets shall be secured to prevent tipping that can be caused by high winds that regularly prevail in the community.

- Material removed from the construction site must not be relocated to any other location in High Cliffs. Illegal dumping will subject the Builder to fines and work stoppage without warning. Any material dumped in violation of this rule must be removed within three (3) business days of written notice from the Association, or the Association will take action to remove such material and require reimbursement from the Builder to the Association.
- Smoking is allowed on the job site only and not on anywhere else in the community. The builder must provide a receptacle for extinguishing and collecting all smoking material. Smoking material discarded anywhere in the community other than proper receptacles is subject to fines on all occurrences.
- Overnight storing or parking of equipment or vehicles on streets or vacant lots is prohibited without explicit permission from the ARB. Violation will result in a warning on the first occurrence, a fine on the second occurrence, and fines and work stoppage on the third or later occurrences. The Association may tow vehicles that are parked in violation of these guidelines at owner's or builder's expense.
- No alcoholic beverages or illegal drugs are permitted on any job site. Violators will be asked to leave the community immediately. Fines will be levied against the Builder immediately on any occurrence.
- Excessive speed within the community is prohibited; speed shall not exceed posted speed limits, and limits will be enforced. It is the responsibility of the Builder to inform subcontractors and supply delivery vehicle drivers as the Builder will be held accountable. Violations will result in a warning on the first occurrence, and fines and permanent removal from the community on subsequent occurrences.

CONSTRUCTION HOURS

Construction hours are from 7 AM to 6 PM Monday through Friday, and from 9 AM to 4 PM on Saturday. No construction activity is permitted on Sunday. The Builder shall post a placard in a visible location on the site indicating working hours. No construction is allowed on holidays observed by the Federal Reserve System: Christmas Day, Thanksgiving Day, New Year's Day, Memorial Day, Fourth of July, and Labor Day. If the holiday falls on a weekend, and there is an associated federal or bank "in-lieu" holiday on another day, work is not permitted on the actual weekend holiday, but is permitted on the in-lieu holiday. For example, if the Fourth of July falls on a Saturday and federal offices and banks are closed on Friday the third of July in observance of the holiday, work would be permitted on July 3, but not on July 4. Any builder or subcontractors deviating from the allowed construction times will be warned on the first occurrence, fined on the second occurrence, and subject to additional fines and stoppage of work on the third and any subsequent occurrences.

CONSTRUCTION SCHEDULE

Construction must begin within 12 months of the final ARB approval date. ARB approval expires after 12 months, and projects must resubmit for re-approval. Resubmittal fees may apply. If construction inactivity reaches 90 days, the ARB will request explanation of inactivity and potential forfeit of builder deposit and/or weekly fines will apply.

Construction projects must be completed (including exterior and landscaping) within 16 months of their start unless an extension is provided by the ARB. Furthermore, if the exterior finish of the main dwelling is not completed within 12 months, a fine of up to \$150/day after 12 months will be levied until completion. This schedule does not apply to interior finishes. Variances for reasonable unforeseen interruptions such as natural calamities, emergencies, fires, strikes, etc., will be taken into consideration. Should construction activity cease for ninety (90) consecutive days, or if the times for completion (as stated above) are not met, this will constitute a violation and in such a case, the ARB can impose penalties or fines.

At the completion of construction, an Occupancy Permit must be obtained by the owner from Buncombe County. In addition, the following is required:

- Final "as-built" plans must be submitted to the ARB for final review of conformance to previous plans submitted.
- All cleaning of construction area must be completed. This includes removal of all trash, equipment, tools, surplus material, and silt fences no later than issuance of the certificate of occupancy. Failure to comply may result in fines or cleaning done by an outside agency at the owner's expense.

- A copy of Buncombe County Occupancy permit must be submitted to the ARB to keep on file.

FEES & DEPOSITS

NEW CONSTRUCTION

- Application Fee: \$500.00
- Refundable Builder Deposit: \$5,000 - This will be used to cover any builder violations as described in the Enforcement and Penalty section of these Rules. Refunds will be considered after issuance of the Occupancy Permit, final review for home/site conformance and inspection of the community for any construction-related damages has been completed.
- Non-Refundable Owner Impact Fee: \$2,500 - This will minimize potential special assessments needed for road repair, gate repair, etc., due to construction activity.

MODIFICATION TO EXISTING STRUCTURES

- No application fee is required.

Additional Review Fees may be applied if the Design Review Process extends beyond the standard review period due to the actions of the Owner.

PLEASE SEND ALL FEES & DEPOSITS TO:

High Cliffs POA
1 High Cliffs Trail
Black Mountain, NC 28711

VARIANCES

The ARB may approve variances to these Guidelines on a case-by-case basis where unique circumstances create a particular hardship for the homeowner. These circumstances may pertain to unusual site conditions, unique architectural considerations, ecological constraints, view enhancement, or to promote better privacy. All requests for a variance need to be submitted in writing. Such case-by-case approval shall not set precedent for future applications.

EXISTING STRUCTURES

Any change made to a homeowner's property which has been approved by the ARB and is properly documented prior to the adoption or amendment of these Rules need not be modified in accordance with the Rules specified herein. Any construction or improvements prior to the adoption or amendment of these Rules made by the original builder are automatically grandfathered. Any future modifications to existing structures will require an application for review and approval by the ARB according to the modifications list in APPENDIX C.

FINES & PENALTIES AGAINST THE CONTRACTOR

- Construction cannot commence until a building permit is obtained from Buncombe County.
- Compromised silt fences or erosion impacting neighboring property, including common spaces, will be fined \$100 per day.

- Trees damaged or removed against Tree Preservation Plan guidelines will incur a fine of \$150 per tree removed, and \$150 per day, until a replacement plan is submitted to the ARB. Additional per day fines may be warranted if an approved replacement plan is not acted upon within a reasonable period of time.
- Violations of the Construction Guidelines may result in additional fines from the ARB of \$150 per occurrence and \$100 per day of inaction in rectifying the infraction.
- The contractor will have 30 days to cure the violation, or the Association has the right to enter such property for the purpose of remedying the violation.

SITE LAYOUT & DESIGN

GRADING

Homeowners and their design team shall consider the existing topography and proximity to surrounding dwellings when developing the design of their property. Wherever possible, homeowners shall site homes and improvements, including septic systems and wells, in a way which minimizes impact to the property and neighbors.

The following site grading parameters should be followed:

- The use of low walls is encouraged over the use of large, graded slopes to minimize disturbance to the existing vegetation and topography.
- Graded slopes shall be stabilized immediately with mulch or other erosion control measures and planted within 30 days from completion of site construction.

SETBACKS

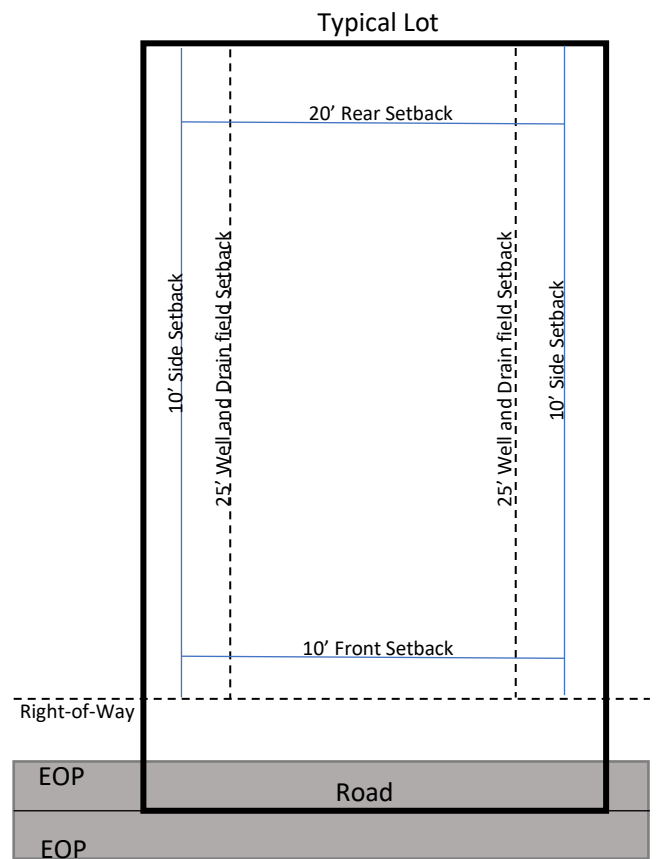
When planning home location, owners should maximize distance between neighbors and optimize privacy in accordance with High Cliffs master site plan as a guide (Appendix D). Houses and accessory structures must be built within the minimum building setbacks, as defined by the Buncombe County Zoning Ordinance. Well and septic setbacks have an additional side setback restriction.

Specific setbacks are:

- Front Yard Setback – 10 feet
- Side Yard Setback – 10 feet
- Rear Yard Setback – 20 feet
- Side Well & Septic – 25 feet

However, due to topographical challenges that limit the homesite location on some lots, side yard setbacks may be greater than 10 feet. All lot owners shall discuss side yard setback requirements with the ARB regarding relationships of adjacent homesites and potential well/septic location *prior* to obtaining permits from Buncombe County.

Property lines in High Cliffs run to the centerline of the right-of-way (ROW). Front setbacks begin from the right-of-way, not from the property line or edge of pavement (EOP). Right-of-way distances vary throughout the community and should be verified on the community plat (Appendix E). Further restriction or variance of these minimum setbacks based on factors such as topography, views, lot shape and ecological constraints is at the sole discretion of the ARB. Residences visible from the street shall be erected in such a manner to face the direction of the road servicing the lot, but a corner or double lot may face the appropriate direction for either lot. Approved fences, driveways, sidewalks, steps, or minor projections extending beyond the foundation shall NOT be considered as part of the building (not subject to setback restrictions), provided, that this provision shall not be construed to permit any portion of a building on any lot to encroach on another lot.



This diagram is for illustration purposes only, ROW distances vary throughout High Cliffs.

CONSTRUCTION AREA

For the purposes of this document, the Construction Area is defined as the overall area which is impacted by the construction of the home and any improvements. Improvements include, but are not limited to, accessory structures, septic fields and driveways.

TREE PRESERVATION DURING CONSTRUCTION

Preservation of existing trees is a high priority at High Cliffs. Throughout High Cliffs, there are specimen trees which should be preserved. There will inevitably be trees that will not be able to be preserved, but thoughtful house placement, low-impact site design and conscientious construction site management should be used to preserve established, healthy trees whenever possible. Trees between shared property lines should be preserved. In areas where trees cannot be preserved given the design of the building envelope, native species should be planted as replacements, examples of which can be found Appendix A.

As part of the Preliminary Design Submission, a Tree Preservation Plan must be prepared which shows existing trees (and specimen type). The plan must also show proposed trees to be cut on the lot and tree protection measures for the project. Owners are strongly encouraged to consult a professional arborist when evaluating a tree's health and its ability to withstand construction impacts.

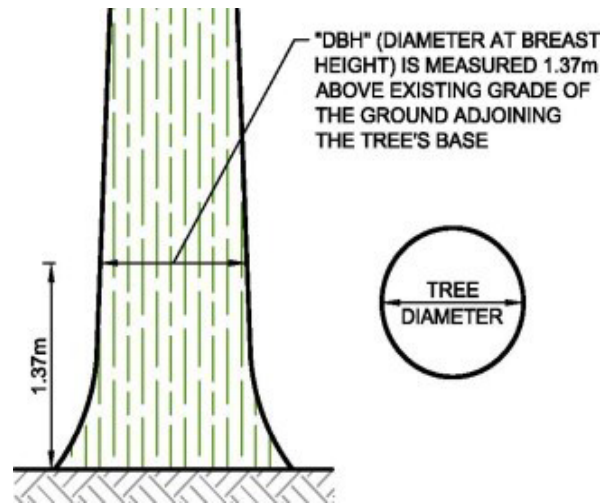
For trees identified to be preserved which are located near the proposed construction site, the following tree protection measures should be followed:

- Install tree protection barriers to prevent direct damage to the tree by heavy equipment.
- Fencing should be installed at a radius of 1.5 feet away from the trunk of tree for every inch diameter.
- Reduce soil compaction by prohibiting vehicular traffic and the storing of construction materials in the root zone.
- Avoid soil cuts and trenching in the root zone. Utility installations should avoid root zones altogether or be tunneled under the root system.

CUTTING & PRUNING

Outside of the construction zone, trees may be cut or pruned so as to improve a viewshed corridor if done thoughtfully. The ARB retains the right to request the opinion of a licensed arborist at any time during the process and such expense shall be the sole responsibility of the lot owner. The following criteria shall be adhered to when contemplating cutting for a view:

- Within 15 feet of the residence or home site or within the right of way of driveways or walkways, any trees, shrubs, or wildflowers may be removed without the written approval of the ARB, although property owners are encouraged to be thoughtful about what plant material can be preserved.
- Beyond 15 feet of the residence, construction site or right of way of driveways and walkways, any plant material that is less than 9" diameter at breast height (DBH) may be removed without ARB approval. However, the removal of trees and vegetation from within the setbacks is strongly discouraged, and wide swath "clear-cutting" is prohibited. Removal of any plant material or tree over 9" DBH requires prior ARB approval.
- Trees that are dead, diseased, or a hazard to people or property may be removed without ARB approval regardless of size.
 - Tree removal must be done in a manner that does not cause damage to the surrounding trees or native landscape. To limit the destabilization of the surrounding forest, trees should be cut down rather than pushed over.
 - Replacement of removed trees will be at the sole discretion of the ARB.
- Limbing, pruning or crowning of trees is strongly encouraged as an alternative to removal of any tree if appropriate. Topping of trees is prohibited. *The ARB reserves the right to require such work be performed by a certified arborist.*
 - Resources on best practices for tree pruning:
 - <https://www.americanarborists.net/tree-tips/2018/april/tree-topping-vs-crown-reduction-whats-the-best-w/>
 - <https://www.youtube.com/watch?v=UVK8QFmaS0E>
 - <https://www.youtube.com/watch?v=0kSx8DeTfdM>
- **Violations will incur fines as stated in the Enforcement and Penalties section of these Rules.**



SEPTIC SYSTEMS

Each homesite will be served by an individual septic system. There are two types of septic permits which are provided by Buncombe County Department of Health and Human Services. These include:

- Improvement Permit (IP) for septic system permitting: An IP is generally obtained prior to the sale of a property to provide the buyer with assurance of the lot's suitability for a septic system. An IP is not intended for construction and is not always indicative of the final septic system, or house site locations.
- Construction Authorization (CA) for septic system permitting: A CA is applied for and obtained prior to construction of the home. The CA will identify the exact location and type of septic system required. It is designed based on the final house location and size (i.e. bedrooms). No construction of the septic system or house is to occur until an owner has obtained an CA permit.

No privies, outdoor toilets or outdoor lavatories will be permitted, except during periods of active construction. All sewage systems shall be connected to a septic tank designed, located, and constructed in accordance with the requirements of the Buncombe County Health Department. All septic systems will be reviewed by the ARB to ensure there are no issues with surrounding lots (consideration of existing or potential location of home and water well on adjacent lots) and to avoid any unnecessary tree cutting that might occur in placement of the proposed septic field (e.g. combining tree removal for view and septic if possible).

WATER WELLS

Each homesite will be served by an individual water well. It is the responsibility of the lot owner and the design team to determine the location of the water well as per Buncombe County Building Ordinance.

The well shall be concealed by a "well house" which matches the architectural aesthetics of the overall home or an imitation rock cover. Anything beyond standard well—drilling techniques (e.g., hydrofracking) may be allowed but requires prior ARB approval and must be performed by an experienced, licensed professional. Alternative techniques must not interfere with adjacent property owners' water quality or flow rate. Testing of adjacent properties' water quality and flow rate before and after such techniques are employed may be requested (at builders' expense), and the lot owner, builder, and drilling contractor will be held responsible for any detriment to adjacent water supplies. Geothermal systems are allowed as well, again so long as this process does not interfere or affect adjacent owners in any way.

If it is determined that adjacent property water quality has been adversely affected by any drilling activities by an individual property owner, that property owner shall be held financially responsible for correction of the issue



EROSION & SEDIMENT CONTROL

Builders and homesite owners shall utilize sediment and erosion control measures that prevent stormwater runoff from entering streams, creeks, other water bodies and neighboring properties. All erosion control measures must be in place before the commencement of any construction activities. They must be correctly installed to industry standards and actively maintained. Failure to maintain or repair failed devices will incur fines stated in the Enforcement and Penalties section. During construction, the following erosion control measures, at a minimum, shall be followed:

- **PREVENT EROSION:** Disturbed slopes over 15% shall be stabilized with straw mulch, erosion control blankets, or a comparable measure until permanent vegetation is re-established.
- **MANAGE SEDIMENTATION:** Silt fences shall be installed within 5 feet of the limit of disturbance, and 5 feet from the bottom of graded slopes. They shall be wire-reinforced fabric fence on metal T-posts and shall be buried a minimum of 6 inches. Check dams constructed of washed stone, hay bales or straw wattles shall be installed across drainage channels or areas of concentrated flow. Mud Mats must be installed at driveway entrances to prevent sediment from being tracked onto the roadways of High Cliffs.
- **MAINTAIN MEASURES:** Erosion control measures shall be monitored weekly and after every rainstorm, and damaged control measures must be repaired promptly. Remove and properly dispose of accumulated sediment trapped behind control devices when it reaches one third of the barrier height.

STORMWATER MANAGEMENT

Measures must be taken to limit disruption of natural drainage patterns, to increase stormwater infiltration and to reduce water flows into the streams. The design and use of stormwater features shall be an integral part of the site design and should be designed to complement the surrounding architecture and landscape – e.g., cisterns and rain barrels, vegetated roofs, porous materials, rain gardens and bioretention cells to catch and naturally cleanse runoff.

Stormwater runoff systems must be engineered by a landscape architect or other qualified professional to control and infiltrate runoff into the soil through retention and detention design systems (cisterns, rain barrels) with consideration of adjacent lots and community roads and structures. Pervious pavement, which allows stormwater to percolate through to surface soil, should be integrated into the site plan when possible. Roof drains, runoff, downspouts and all impervious surfaces shall be designed to runoff into landscaped areas (e.g., infiltration trenches, rain gardens, bioretention cells) to provide supplemental irrigation and allow runoff to be naturally cleansed and resorbed into the ground water aquifer. Where no formal landscape exists, runoff shall be directed into historic drainage patterns. It shall be the lot owner's responsibility to install an appropriately sized culvert to direct stormwater at the intersection of the driveway and the community road (where it may cross a stormwater ditch) to avoid runoff and erosion. Any damage or erosion to the community roads or adjacent lots because of failure to address stormwater runoff shall be the homeowner's responsibility.

DRIVEWAYS & MOTOR COURTS

Driveway and parking area design should complement the property's natural features. They should be designed to gently curve to accommodate existing topography and vegetation. All driveways must look finished. Driveways must not impede stormwater flow along existing ditches at the intersection of the driveway and common road (see stormwater management section above).

DIMENSIONS:

- Driveways are permitted within the setbacks provided they are within property lines.
- Driveway width shall be 14' maximum, excluding motor courts.
- Natural topography shall be followed to the greatest extent possible.

MATERIALS:

- All driveways must be asphalt for a minimum of 10 feet from the end of pavement.
- The remainder of the driveway may be asphalt, concrete or other ARB approved material.
- Motor courts and parking areas may be asphalt, brick, natural stone, concrete pavers, crushed stone, gravel or decomposed granite if gray or brown in color. White stone is not allowed.

- Other materials may be approved but are subject to final ARB approval.

COLORS:

- Materials shall be earth-tone colors, responding to the building or surrounding landscape and be low light reflective value (LRV). White is not allowed.

PERMEABILITY:

- Permeable pavers, porous concrete, and other permeable materials are strongly encouraged for all horizontal surfaces.
- Tire track drives may be utilized to reduce the square footage of impervious surfaces.

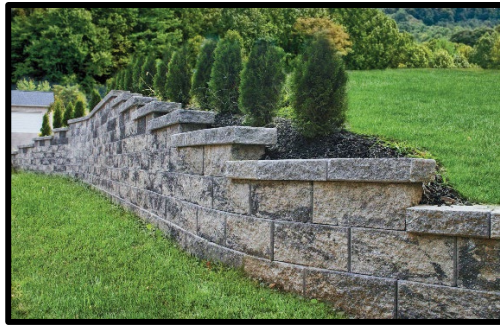


RETAINING WALLS

Site retaining walls should complement the building architecture and shall meet the following requirements:

- Natural stone veneer, boulder walls, and limited stucco and brick walls (earth tones with low LRV) are allowed.
- Modular or precast interlocking decorative concrete retaining walls of earthtone colors are allowed.
- Raw concrete or exposed concrete block walls are not allowed.
- Manufactured stone veneers may be allowed on a case-by-case basis but require prior ARB approval.



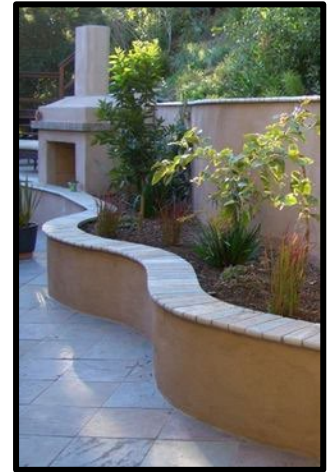


FENCES

Fences are not encouraged and require ARB approval with the application setting forth a plot plan showing the location of the fence and a description of the height and type of fence material with drawings or representative pictures attached.

However, limited fencing is preferred over manipulation of large amounts of ground for privacy purposes. Likewise, limited fencing is allowed for pet enclosures, pools and gardens, and should be constructed as to blend in with the landscape and not obstruct wildlife corridors whereas possible. In no circumstance should fences impede views from neighboring properties. No fencing should be located between the house and the road.

Fences must not be higher than 6 feet.



- Simple, non-ornate fence construction with a high level of transparency is preferred.
- The use of chain link fencing is not permitted. In rare circumstances, dark colored chain link fencing completely hidden from view by additional screening material fencing or natural landscaping could be approved by the ARB. Final approval by the ARB is required.
- All fencing should be stone, wood, wrought iron, or powder-coated aluminum material and should be in dark earth tone colors.
- Tastefully constructed cable or welded wire fencing in natural colors will be considered. Final approval by the ARB is required.
- Invisible electric fencing for pets is encouraged.



❌ Chain link fence not allowed



✓ Mixed metal and wood



✓ Semi-transparent wood screening

SPECIAL SITE FEATURES

In an effort to keep High Cliffs an aesthetically appealing community, lot owners should strive to minimize visible extraneous buildings, mechanicals and embellishments on their properties to emphasize the beauty and simplicity of the natural surroundings. Outdoor spaces are encouraged and should blend the indoor and outdoor spaces of a site in a thoughtful manner. Walls, fences, patios, driveways, fire pits, etc, should be of natural materials and earth-tone colors that complement the architecture of the buildings. Excessive use of decorative items that clutter a lot are not permitted.

- Above ground pools are not permitted.
- Outdoor fireplaces, pits, and grills are permitted according to local fire code regulations.
- Patios and walkways should be constructed of natural stone or stone pavers, brick or concrete pavers, or crushed stone. Poured concrete is acceptable but less preferred due to its impermeability.
- Outside clotheslines are not approved.
- No decorative features such as bird baths, sculptures, bird houses, fountains or other embellishments that are visible from any common road shall be permitted unless otherwise approved by the ARB.
- Satellite dishes should be unobtrusive and final location is subject to review and approval by the ARB.
- Window AC units are not allowed. Compressor units should be ground mounted and screened by appropriate natural landscaping and not visible by adjacent lots or common roads. Notwithstanding, the ARB may waive this requirement if new technology becomes available that proves to be aesthetically acceptable.
- The use of solar equipment (e.g., panels, shingles, cells) is strongly encouraged for whole-house electric (photovoltaic) or water-heating systems (solar thermal or active panels) but requires ARB approval. Solar equipment integration must not compromise the integrity and beauty of the site, the aesthetics of building design, or neighboring solar and view access. Solar collectors and related auxiliary equipment (e.g., fasteners, pipes, power lines) can be integrated into the design of the house (wall or roof mounted) or ground/pole mounted. To the maximum extent possible, solar systems should be roof mounted to minimize the impact to the natural topography and to be as unobtrusive as possible to neighboring, public, and common community views. Roof or wall mounted systems require detailed depiction on the site plan showing size of array, auxiliary equipment along with a description of materials. Ground/pole mount installations require a detailed plan including configuration (horizontal and vertical dimensions), location (site plan showing solar array location with setbacks), side view elevations indicating the top and bottom height of the panels off the ground/slope, and proposed screening and erosion control measures for beneath the array. Ground/pole mount installations will be scrutinized for their exposure to neighboring lot, public and common community views. Materials of low reflectivity are required. Any screening will be of natural material (i.e., trees, shrubs, etc.).
- Geosolar or Geothermal heating/cooling systems are also encouraged; however, above grade equipment must blend into the adjacent landscaping and meet the specific site requirements herein. Vertical drilling or horizontal trenching shall not interfere with adjacent lot well and septic systems.
- Wind energy systems may be allowed but must not bear an aesthetic or noise burden on the community and must comply with local land use code requirements. Wind energy systems will be subject to review and approval by the ARB.
- Outside garbage and recycling containers are not permitted. Stored patio furniture, and similar service equipment shall not be visible from adjacent properties or from the common roads or trails. Propane and natural gas tanks must be buried. Gasoline fuel tanks are not allowed.
- Appropriate landscape screening shall be used to conceal outside mechanicals such as Geothermal installations or HVAC units, etc., rather than solid fencing or screens. Materials chosen should blend in with the rustic nature of the property and architecture.
- No recreational vehicles, travel trailers, boats or mobile homes shall be kept or stored in view of adjacent properties or from the common roads or trails.

LANDSCAPE DESIGN

Landscape design should proceed with environmental sensitivity. Ideally, all plantings should be native to the region, planted according to favorable sun/shade microclimates, not require use of chemical fertilizers or pesticides and selected to survive without heavy use of supplemental irrigation. Irrigation is allowed, however should be designed to reduce water consumption (drip style over rotary spray and use of water conserving sensors). Design of captured rainwater cisterns for irrigation purposes is strongly encouraged.

- Limited lawn, short grass and turf areas are permitted. Final lawn design requires approval by the ARB.
- Acceptable lawn alternatives such as “no-mow” grass seed mixes and groundcovers such as creeping thyme, mondo grass, etc., are recommended.
- Edible landscaping such as natural berries and vegetable gardens (maintained in an orderly fashion and not visible from the street) are permitted.
- Landscape lighting is allowed but should be limited. “Dark Sky” principles should be followed. Fixtures should be downward oriented to diminish light pollution, and of a color temperature of no more than 3000 Kelvins. Up-lighting may be allowed if it follows “Dark Sky” principles but will require final ARB approval. No up-lighting or flood/street lighting that remains in an “on” mode throughout the night is permitted.
- All plantings shall be reviewed for approval in the final landscape design submission.

INVASIVE SPECIES CONTROL

What are Native Plants?

Native plants are those that have evolved over time with the specific climate, geology, topography, and biology of our region. They are uniquely adapted to local conditions and wildlife and generally operate in harmony with other native species. Native wildlife depend on native plants for sustenance.

What is a Non-Native Invasive Plant (NNIP)?

These are plants from outside our region, usually from other continents, that negatively impact local wildlife and outcompete native plants for space, sunlight, water, and nutrients. They reduce biodiversity, reduce crop yields on farms and in forests, destabilize local environments, and can present major wildfire hazards.

Some NNIPs have spread to our mountain through natural means such as wind-borne seeds, seeds eaten and dropped by birds, or carried on the fur of wild animals. Humans, however, are largely responsible for the spread of invasive plants through accidental introduction of seed on vehicles or imported materials, but also intentional planting of non-native plants in their landscaped areas.

Non-Native Invasive issues

While all NNIPs pose some threat to the balance of nature in our area some are clearly worse than others.

For example, Tree of Heaven (*Ailanthus altissima*, also known as Stinking Sumac) produces an overly abundant number of seeds, crowds out native species with its dense thickets and secretes a chemical into the soil that is toxic to surrounding plants and trees. Its brittle branches break off easily and build up to create fuel for fires.

Chinese Silvergrass (*Miscanthus sinensis*) is an invasive grass from Southeast Asia which is still commonly sold by nurseries as an ornamental. Unfortunately, its seeds spread on the wind, and infestations are difficult to control. It is highly flammable and is notorious for being a fire hazard. It was found that a major contributor to the devastating 2023 fire in Lahaina, Hawaii was widespread infestation of non-native grasses (guinea grass and buffelgrass, and by ornamental species such as fountain grass).

Non-Native Invasive Plant Control

Regardless of how invasive plants have reached our beautiful mountain, we all have an obligation to eliminate them wherever we find them. The POA controls Non-native Invasive Plants on all Common Areas, and Owners are responsible for their own property. Early treatment is almost always the most effective and most affordable due to the rapid spread of invasive plants.

Abundant resources are available online to provide guidance on invasive plant identification and control techniques. If you decide to handle small infestations yourself, please do your research! Selective application and minimal herbicide use at the correct time of year is essential to improve efficacy of treatments, and minimize harm to native plants, animals, and insects. Using incorrect techniques can do more harm than good. For larger growths, a certified arborist should be consulted to ensure correct techniques are used.

Non-Native Invasive Plants, Comments, and Alternatives

The table below lists the primary NNIPs in our area. NNIPs in Red have been identified throughout High Cliffs and have been eliminated on all common areas which are maintained by the POA. When identified on private lots, the Owner is responsible for eliminating them. NNIPs in Yellow are not yet a major threat within High Cliffs but should still be avoided. NNIPs currently in Yellow could be changed to Red in the future if they begin to propagate uncontrolled on the mountain. Alternatives to consider for landscaping are listed for convenience as well as in Appendix A.

Common Name	Scientific Name	Alternatives
Asiatic Hawk's-beard, Youngia	<i>Youngia japonica</i>	
Autumn Olive, Oriental Silverleaf	<i>Elaeagnus umbellata</i>	Sweet Pepperbush
Knotweed- Japanese (Japanese Bamboo), Giant, Bohemian,	<i>Reynoutria japonica</i> , <i>Reynoutria sachalinensis</i> , <i>Reynoutria x bohemica</i>	Arrowwood, Elderberry, Staghorn Sumac
Bradford Pear, Callery Pear	<i>Pyrus calleryana</i>	Sugar Maple, Flowering Dogwood, Sweet Crabapple
Chinese Silver Grass, Eulalia	<i>Miscanthus sinensis</i>	Indian Grass, Big Bluestem Grass, Broomsedge Grass, Bottle Brush Grass
Chinese Yam, Cinnamon Vine	<i>Dioscorea polystachya</i> [= <i>Dioscorea oppositifolia</i>]	
English Ivy, Common Ivy	<i>Hedera helix</i>	Virginia Creeper, Trumpet Creeper, Crossvine
Garlic Mustard, Hedge Garlic	<i>Alliaria petiolata</i>	
Japanese Honeysuckle	<i>Lonicera japonica</i>	Coral Honeysuckle
Japanese Hops	<i>Humulus scandens</i> [= <i>Humulus japonicus</i>]	
Japanese Spiraea	<i>Spiraea japonica</i>	Meadowsweet Spiraea, Hydrangea, Sweet Shrub
Japanese Stilt-grass	<i>Microstegium vimineum</i>	
Kudzu	<i>Pueraria montana</i> var. <i>lobata</i>	Dwarf Passion Flower, Muscadine Grape
Lespedeza, Bicolor and Chinese	<i>Lespedeza bicolor</i> , <i>Lespedeza cuneata</i>	
Lesser Celandine, Fig Buttercup	<i>Ficaria verna</i> [= <i>Ranunculus ficaria</i>]	
Mile-a-minute Vine	<i>Persicaria perfoliata</i>	
Mimosa, Silk Tree	<i>Albizia julibrissin</i>	Flowering Dogwood, Eastern Redbud
Mud-annie, Marsh Dewflower	<i>Murdannia keisak</i>	

Multiflora Rose	Rosa multiflora	Native Black Raspberry
Oriental Bittersweet	Celastrus orbiculatus	
Porcelain-berry, Amur Peppervine	Ampelopsis glandulosa [= <i>Ampelopsis brevipedunculata</i>]	
Princess Tree, Empress Tree	Paulownia tomentosa	Eastern Redbud, Flowering Dogwood
Privet - Japanese, Chinese, and Glossy	Ligustrum japonicum, Ligustrum sinense, Ligustrum lucidum & cultivars	Hollies
Tree of Heaven, Copal Tree	Ailanthus altissima	Staghorn Sumac, Shagbark Hickory
Wisteria- Chinese, Japanese, Hybrid-Asian	Wisteria sinensis, Wisteria floribunda, Wisteria x formosa	American Wisteria, Coral Honeysuckle

Color Code	Comment
RED	Highest Threat – Eliminate
YELLOW	Medium Threat – Avoid

References and Resources:

US Dept of Agriculture, Forest Service, Southern Research Station, General Technical Reports:

- SRS-119 – “A Field Guide for the Identification of Invasive Plants in Southern Forests”
- SRS-131 – “A Management Guide for Invasive Plants in Southern Forests”

North Carolina Native Plant Society, ncwildflower.org

North Carolina Wildlife Federation, ncwf.org

NC State University, College of Natural Resources:

- “Fire-Resistant Landscaping in North Carolina”

NC State University, Cooperative Extension:

- “Sustainable Lawns and Lawn Alternatives”

MountainTrue.org:

- “Native Plants – Southern Blue Ridge Planting Guide”

NCForestService.gov

ARCHITECTURAL STYLE

OVERVIEW

This section is meant to provide lot owners and their architects with a set of guidelines that will foster an attractive community. Residences should be constructed to a high standard in the context of the natural beauty of the surrounding land, but not necessarily adhere to any one particular architectural style. All plans will be reviewed and approved on an individual basis. It is important to note that existing examples and/or prior approvals do not guarantee future acceptance. Duplicating the design of other houses in the community is not allowed.

Building conceptualization should fall into the realm of rustic contemporary, mountain modern, and general mountain vernacular designs. Structures should blend into and visually recede along natural slopes rather than stand out in a bold manner. Structures should be oriented parallel to the natural slope of the lot. Natural building materials (stone and wood) and manufactured materials (concrete, glass, and naturally finished metals) are to be used and are encouraged to be local to the site and/or region. Roof slopes, overhangs and natural drainage paths should be considered for minimizing erosion.

BUILDING SIZE & FLOOR PLAN

All houses shall comply with local, county and state regulations. All single-story dwellings shall be a minimum of 1200 square feet in conditioned space. All 1.5-story dwellings shall be a minimum of 1200 square feet on the ground living area with an overall minimum of 1750 conditioned square feet. All 2-story dwellings shall be a minimum total of 1750 conditioned square feet. For minimum size calculations, unfinished basements or attic spaces, porches, patios and greenhouses are not to be included in the computation.

The ARB may, at its discretion, allow up to 75% of the living space of a finished basement in this calculation of total living space if:

- Finished ceiling height is at least 8 feet.
- The exterior grade of the dwelling is such that said finished areas is substantially above ground.
- The exterior finish of the said basement area is in conformity with the exterior finish of the remainder of the dwelling.
- Basement windows of said finished area are in similar style, number and location as the windows in the remaining portions of the building.
- The maximum structural ground coverage of the lot shall not exceed eight thousand (8,000) square feet and any one principal structure shall not exceed six thousand (6,000) square feet.

Total impervious surface shall comply with Buncombe County regulations.

Total height of any structure shall not exceed an average of 27 feet above grade, calculated by using the average of the shortest and tallest sides above grade.

PROTECTED RIDGE AND STEEP SLOPE OVERLAY

Most of the homesites in High Cliffs are subject to the Buncombe County “Protected Ridge & Steep Slope Overlay” provisions (Buncombe County Building Ordinances, Chapter 78). Please consult with these regulations early in your home and site design process, as there are strict building height, size restrictions to adhere to, as well as specific provisions for tree screening that must be a part of your site plan.

<https://www.buncombecounty.org/common/planning/steep-slope-overlay-district-checklist.pdf>

Excerpted from Buncombe County Building Ordinances:

“Sec. 78-645. Protected Ridge Overlay District

(a) Purpose. The Protected Ridge Overlay District is established in recognition that the development of land in steep, mountainous areas involves special considerations and requires unique development standards. This section is intended to limit the density of development, preserve the viewshed and protect the natural resources of Buncombe County’s protected mountain ridges, consistent with the recommendations of the 1998 Buncombe County Land

Use Plan and supplemental to the provisions of the Mountain Ridge Protection Act of 1983. Further, in accordance with North Carolina General Statutes §153A-342, this Protected Ridge Overlay District provides for additional requirements on properties within one or more underlying general districts related to the erection, construction, reconstruction, alteration, repair, or use of buildings, or structures within the Protected Ridge Overlay District in addition to the general underlying zoning

regulations including, but not limited to, height, number of stories and size of buildings and other structures.

(b) Applicability. This section shall apply to all Buncombe County mountain “ridges” whose elevation is at least 3,000 feet and whose elevation is 500 or more feet above the elevation of an adjacent valley floor and including 500 foot buffers, measured horizontally from the center line of the ridge as specifically identified and delineated on the zoning map entitled “The Official Zoning Map of Buncombe County, North Carolina.”

(c) Permitted uses. Uses are permitted in the Protected Ridge Overlay District pursuant to the following table. All uses not listed are not allowed.

(d) Conditional uses. All conditional uses shall be administered in accordance with Division VI of this chapter.

(e) Special Requirements. Uses are permitted in the Protected Ridge Overlay District pursuant

(f) Development standards. (1) Lot size standards. Any new lot created with greater than ten (10) percent of the area in the Protected Ridge Overlay District after the effective date of this section shall be a minimum of two (2) acres. (2) Density standards. No more than two (2) dwelling units or two (2) principal buildings or structures shall be allowed on a single lot of record in the Protected Ridge Overlay District. (3) Height standards. The maximum building height in the Protected Ridge Overlay District shall be 25 feet when the structure is 50 or fewer vertical feet from the crest of the ridge. The maximum building height in the Protected Ridge Overlay District shall be 35 feet when the structure is more than 50 vertical feet from the crest of the ridge. The vertical distance between the structure and the crest shall be the difference between the elevation (above sea level) of the highest ground level at the structure foundation and the lowest elevation of the crest of the ridge. (4) Building width standards. Building width in the Protected Ridge Overlay District shall not exceed 30 percent of the lot width as measured at the face(s) of the building oriented to the downhill section of the lot or adjacent topography. (5) Lot width standards. Minimum lot width in the Protected Ridge Overlay District, as measured parallel to the crest of the ridge, shall be 200 feet.”

***** Make sure to always check with Buncombe County for any updates on
“Protected Ridge Overlay and Steep Slope ordinances” *****

COLOR

All built elements should have finishes that relate to the environment, i.e., an earth tone or natural color palette. No white or off-white color schemes are allowed. No bright-finished or bright-plated metal exterior door, screen door, window, window screen, louver or other closure may be used. However, a factory painted, or anodized finish may be used, the color of which must be approved by the ARB. Materials should have a low reflective property with an LRV (Light Reflectance Value) of 40 or lower. Final approval by the ARB of all exterior color schemes is required.

EXTERIOR MATERIALS

The exterior material of all buildings shall extend to ground level. No foundation footings shall be visible. Other conditions may be considered that allow alteration of the materials to come to the finish grade at the sole discretion of the ARB. In no case will exposed concrete block, sheet metal, particle board, plywood, aluminum, or vinyl be allowed.

- **SIDING** – May be oriented in vertical or horizontal fashion, but not diagonal. Wood siding may include sawn shingle, shiplap, lap, board and batten, tongue and groove, and natural bark. Synthetic siding is allowed if wood-based or cementitious. Sheet panel products such as hardiplank are allowed. Panel products cannot leave a butt-joined seam exposed between two or more panels.
- **STUCCO** – Portland or acrylic finishes shall be allowed.
- **STONE** – Natural stone that are indigenous to the southern Appalachia are allowed in a drystack or veneered mortared application. Some synthetic stone materials may be allowed, at the discretion of ARB review, if the materials are of good quality to mimic their natural counterparts.
- **BRICK** – Sanded, red, orange, or white bricks are not allowed.
- **PRESSURE TREATED WOOD** – Unstained/unpainted pressure treated wood is allowed for decking only; any other application for exterior cladding will need to be stained or painted according to exterior color scheme guidelines covered already.
- **VINYL/PVC** – generally not allowed as an exterior finish but certain exceptions may be granted for high quality products after ARB review.
- **DECKING** – Wood products resistant to decay and rot are encouraged. Composite decking that is of high quality and mimics its natural counterpart is allowed if within the color palette guidelines depending on ARB review of finish and quality. Composite posts and balusters are not permitted.
- **WINDOWS** – Windows shall be of wood, metal or fiberglass in construction. Other composite materials will be considered on a case-by-case basis by the ARB based on quality, color and workmanship with an eye towards the final aesthetic presentation.

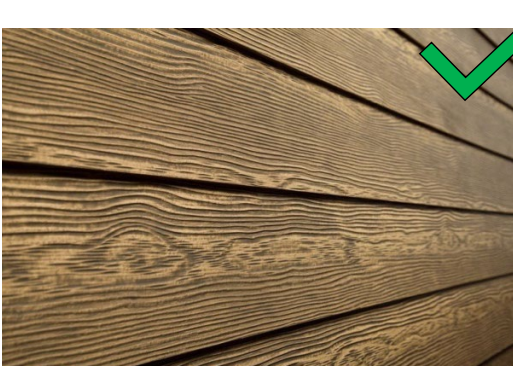
EXAMPLES OF EXTERIOR MATERIALS



❌ No exposed concrete block



❌ No vinyl siding



✓ Architectural fiber cement with wood grain



✓ Natural cedar, fiber cement and acceptable faux stone (NO White)

✓ Cedar style fiber cement (hardiplank)



✓ Natural stone, stucco & wood exterior elements



✓ Natural cedar shakes horizontal cedar batten siding



✓ Natural stone veneer

ROOFS

Roof pitches should be responsive to the site topography. Allowed roof materials include slate, wood shake or simulated wood shake, standing seam, flat seam, flat tile (no barrel), natural living vegetated, architectural asphalt shingles. Architectural shingles should be a minimum of 30-year grade. Roof color schemes should be natural earth tones, bronze or greys. Venting, exhaust fans, flashings, flues and any other roof penetrations should be disguised from the street view when possible and painted to closely match roof color schemes. Satellite dishes should be unobtrusive and final location is subject to review by the ARB. Solar panels are allowed and should be incorporated into the roof line or landscape and must be approved by the ARB.



✓ Vegetated roof



✓ Standing seam metal roof



✓ Roof mounted solar panels



✓ Architectural shingles and metal roof

GARAGES AND CARPORTS

Garages may be attached or detached. Story and a half garage and living space combinations are allowed. Carports are allowed. Garage doors may be single bay, multiple single bay or double bay style and must be in accordance with the house color scheme and previous ARB guidelines for exterior finishes.



✓ Side load carport



✓ Front load carport at entrance





- ✓ Single bay, double bay and multiple bay garage doors allowed.

ACCESSORY STRUCTURES

No more than one principal building per lot is allowed. Accessory buildings shall be in keeping with the same architectural style and color scheme of the main dwelling and may not be built prior to primary residence construction. Examples of accessory structures include (but are not limited to) sheds, guest houses, greenhouses, gazebos, playhouses, treehouses, garden or wildlife structures. Generic pre-built sheds are not allowed. General size guideline for accessory buildings is less than 600 square feet in footprint. Structures designated as a “guest house” must be at least 600 square feet but no larger than 1200 square feet in size. Final approval of all outbuildings must be obtained by the ARB or will be subject to removal.

No structure of a temporary nature may be placed at High Cliffs at any time other than as designated for construction crew purposes.

All play equipment shall be placed so it is not visible from any street or neighboring properties.

PORCHES AND DECKS

Porches, decks, and associated railings shall be designed to integrate seamlessly into the same architectural composition as the main dwelling (size, color, and style). Screened porches shall have dark color or anodized finished screening – no bright or light-colored screens are allowed.



SIGNAGE

Street address signs and for sale signs should be consistent to provide uniformity with respect to color, size, and style of the common community signage. In general, this should consist of gold/bronze lettering on a contrasting dark brown background made of wood or composite material and mounted on a 4" x 4" post with a cap within 5' of the common road.



Address markers should include both horizontal and vertical markings as follows:

- At the top of the post, a horizontal house number with street name underneath.
- Along the post vertically, a 3" height house number made of reflective material followed by street name in smaller lettering (sized to fit) and mounted so as to be visible in both directions of travel. These specifications meet 911 emergency protocols.

For sale signs should follow a similar design style and may list the real estate agent contact number or a QR code for further information. No additional real estate signage or informational signs are allowed.

All signage must be approved by the ARB.

A suggested local source for compliant signage is the Mad Signtist in Hendersonville, <https://themadsigtist.com>.



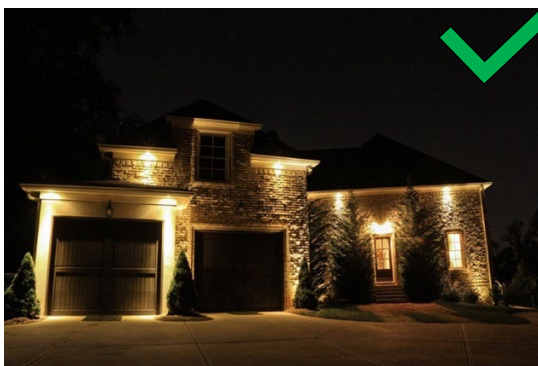
EXTERIOR LIGHTING

Exterior lighting should be minimal and adhere to “Dark Sky Principles.” Efficient dark sky lighting protects the environment and preserves our beautiful night views. Exterior lighting should be designed for illumination of walkways and common areas for safety, not aesthetics. Lighting should be down lighting – up lighting is not allowed unless approved by the ARB. Duration of nighttime lighting should be minimized, and light should not trespass onto others’ property. No continuously “on” bright flood lighting such as spotlighting or bright security lighting will be allowed.

Dark-Sky Principles for outdoor lighting:

- Fully shielded or downward pointing
- Lowest setting for illumination
- Only be on when required.
- Reduce blue light emission.
- Only illuminate area that is needed.

For more information, please visit the International Dark Sky Association website at <https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/>.



✓ Subtle downlighting for accent and walkway illumination is permitted



✗ Flood security and excessive dwelling illumination is not allowed

ARCHITECTURAL REFERENCE GALLERY





GREEN BUILDING PROGRAMS

High Cliffs strongly encourages green building programs. Green building is not only socially responsible but can also have financial incentives. Below are listed some of the common green building programs and resources for your consideration during your building journey:

- **DUKE ENERGY** (www.duke-energy.com/home/products/renewable-energy)
Local electric utility that offers rebates and incentives for energy efficient homes. Incentives for solar installation, energy efficient HVAC, lighting, appliances, etc. Particular offers/incentives may vary according to local, state and federal laws.
- **GREENBUILT NC HOMES** (www.wncgbc.org/programs/green-built)
Local green alliance offering a wealth of local and regional resources and education on green building. Administered locally by Western North Carolina Green Building Council (WNCGBC).
- **ENERGY STAR PROGRAM** (www.energystar.gov)
Energy star certified homes are use 15-30% less energy than comparable new homes. Homes bestowed the energy star label go through a process of inspection, testing and verification to meet strict US EPA standards.
- **LEED FOR HOMES** (www.usgbc.org/cert-guide/homes)
LEED (Leadership in Energy and Environmental Design) is the most widely used green building rating system in the world. Available for virtually all building types, LEED provides a framework for healthy, highly efficient, and cost-saving green buildings. LEED certification is a globally recognized symbol of sustainability achievement and leadership. WNCGBC is the local provider of the LEED program.
- **GREENGUARD** (www.greeenguard.com)
GREENGUARD Certification is part of UL Environment, a business unit of UL (Underwriters Laboratories). GREENGUARD Certification helps manufacturers create--and helps buyers identify--interior products and materials that have low chemical emissions, improving the quality of the air in which the products are used. All GREENGUARD Certified products are listed in the UL environment database.
- **GREEN BUILDING ALLIANCE** (<https://www.go-gba.org/resources/building-product-certifications/>)
A summary website of the most well-recognized green building organizations

APPENDIX A – SUGGESTED PLANTINGS

East/North Facing	Vines/Ferns	Wildflowers
<p><u>Overstory Species</u></p> <ul style="list-style-type: none"> Eastern White Pine Yellow Poplar Chestnut Oak Northern Red Oak Black Walnut Native Ash Sycamore Beech Yellow Buckeye Red Maple Sugar Maple <p><u>Understory Species</u></p> <ul style="list-style-type: none"> Sourwood Dogwood Mountain Laurel Native Rhododendron Sumac American Hornbeam 	<ul style="list-style-type: none"> Dutchmans pipe Crossvine Trumpet creeper Virginia creeper Clematis virginiana Climbing hydrangea Coral honeysuckle Passion flower Fox grape Common woodsia New York fern Chain fern Royal fern Hay-scented fern Wood fern Lady fern Maidenhair fern 	<ul style="list-style-type: none"> Thimbleweed Goat's beard Swamp milkweed Butterfly weed Late purple aster Wild indigo Trout lily Sunflower Jewelweed Lobelia Bishops cap Carolina phlox Garden phlox Blackeyed susan Goldenrod Black cohosh Wild geranium
South/West Facing	Grasses/Ground Covers	
<p><u>Overstory Species</u></p> <ul style="list-style-type: none"> Black Locust Virginia Pine Shortleaf Pine Southern Red Oak White Oak Chestnut Oak Hickory Red Maple Sycamore <p><u>Understory Species</u></p> <ul style="list-style-type: none"> Native Blueberry Eastern Redbud American Holly Box Elder Sassafras Dog Hobble Persimmon 	<ul style="list-style-type: none"> Wild ginger Wintergreen Dwarf crested iris Partridge berry Allegheny spurge Creeping phlox Creeping thyme Oconee bells Mondo grass Oat grass Indian grass Switch grass Bloomsedge Pennsylvania sedge Plantain-leaved sedge 	

APPENDIX B – CONSTRUCTION PROCESS

CHECKLIST & APPROVAL PHASES FOR BUILDING ON LOT			
1.	CONCEPT PHASE (Before you do anything on the property)	Application Form – New building Application	<input type="checkbox"/>
		Application Fee - \$500	<input type="checkbox"/>
		Survey and Topography of Lot (just area of where you would like house placement and property lines)	<input type="checkbox"/>
		House Design concept and estimated size	<input type="checkbox"/>
		Drawing of proposed House location, well location, septic location, and driveway location. (Should be on a survey with measurements)	<input type="checkbox"/>
		Buncombe County Well and Septic	<input type="checkbox"/>
2.	PRELIMINARY PHASE (Site clean up to remove brush but before tree or any bush cutting Well installation allowed upon approval)	Preliminary Design Application	<input type="checkbox"/>
		Full Site Plan	<input type="checkbox"/>
		Foundation / Structural Plan	<input type="checkbox"/>
		House Design, Floor plan & Elevation drawings	<input type="checkbox"/>
		Building Plan	<input type="checkbox"/>
		Grading and Drainage Plan	<input type="checkbox"/>
		Tree & Topographic Survey w/ Tree preservation plan	<input type="checkbox"/>
		Exterior Colors and Materials	<input type="checkbox"/>
		Landscape and Night Sky Outdoor lighting Plan	<input type="checkbox"/>
3.	CONSTRUCTION PHASE (Construction can begin after approval)	Final Design Application	<input type="checkbox"/>
		Construction Impact Fee (Non-Refundable) - \$2,500	<input type="checkbox"/>
		Contractor Fee (Refundable*) - \$5,000	<input type="checkbox"/>
		Stormwater Management Plan	<input type="checkbox"/>
		Contractor bonding & insurance	<input type="checkbox"/>
		Any changes from Preliminary Phase	<input type="checkbox"/>
			<input type="checkbox"/>
4.	FINAL INSPECTION PHASE	Periodic inspections	<input type="checkbox"/>
		Final inspections sign off / CO signoff	<input type="checkbox"/>
		Contractor damage inspection and refund release	<input type="checkbox"/>

APPENDIX C - MODIFICATIONS

EXTERIOR MODIFICATIONS REQUIRING APPLICATION FOR ARB APPROVAL

1. Any attached addition to a home that adds to the overall square footage of the home, including but not limited to a guest home, garage, carport, porch, gazebo, attached covered walkway or porch or deck, storage building, pump house or shed (not just conditioned square footage).
 2. The addition of any accessory building not attached to the home, including but not limited to a guest home, barn, garage, carport, porch, gazebo, pump house or shed.
 3. The addition of a deck that is not attached to the homesite, unless it is less than 12 x 12 feet and is not viewable from the street.
 4. The addition of an inground swimming pool or hot tub or water feature. Above ground pools are not allowed.
 5. The addition of a gate, columns, driveway lights, lampposts, or other decorative embellishment along the driveway leading to a home that is viewable from the street.
 6. The addition of any fencing, including fences to contain domestic animals, whether or not viewable from the street.
 7. Painting of the exterior of the home if the color is different from that originally applied.
 8. Changing of the exterior facing/material of the home, including but not limited to siding, stucco, paneling, that alters the appearance of the home as originally built.
 9. Re-roofing of the home if the type of roofing is different in either color or material from that originally used.
 10. All other additions, regardless of location (including front, side and back yards), that will be visible from the street or that are taller than 12 feet, including but not limited to any structures previously listed in this Modifications/Additions list as well as patio covers, arbors/trellises, or play structures.
 11. The addition of any outdoor utilities/service equipment other than the replacement of existing equipment, including but not limited to equipment related to air conditioning, spa/swimming pool, fountains/waterfalls/water effects, water storage tanks, water conditioning systems, and propane tanks.
 12. The addition of solar panels to a roof or wall.
 13. Any addition or modification of patios or hardscape (including but not limited to walkways, walking pads, or retaining walls) made of concrete, asphalt, stone, material that is mortared, or any other impervious material.
 14. Any addition, modification, or removal of softscape that constitutes 25% of one location of a landscape area. Any concentrated removal of dense, softscape needs to be approved because of past issues that caused erosion affecting lower lots.
 15. The modification of any landscape plantings no matter the location (including but not limited to trees, hedges bushes, or rhododendrons) that are taller than 6 feet or would grow taller than 6 feet when mature unless such plantings are being immediately replaced with plantings of like kind and that are already at least 6 feet tall or will be 6 feet tall or taller at maturity.
 16. Any addition or modification of softscape that creates a ground disturbance of 24 inches deep or more or that could alter the course of water runoff.
- Any exterior modification or improvement that requires permitting by Buncombe County.

APPENDIX D – MASTER SITE PLAN



